

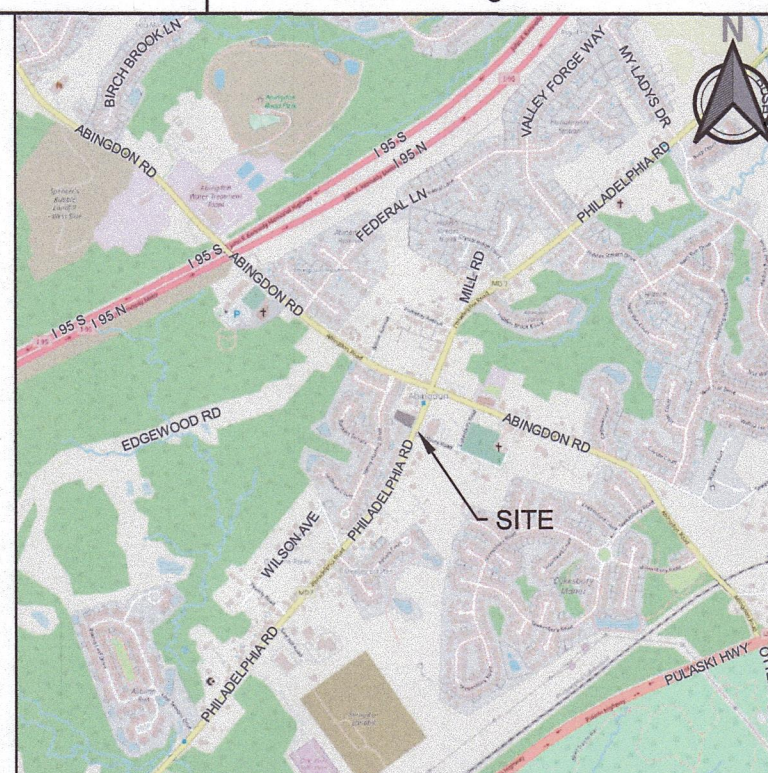
SITE PLAN
SCALE: 1" = 20'

SOIL SERIES MAP UNIT - HARFORD COUNTY

| SYMBOL | SOIL SERIES NAME | HYDRIC RATING | HSG | K-FACTOR | DRAINAGE CLASS |
|--------|---|----------------|-----|----------|----------------|
| EsC2 | ELSINBORO LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED | NON-HYDRIC (0) | B | 0.49 | WELL DRAINED |
| JpC | JOPPA GRAVELLY SANDY LOAM, 5 TO 10 PERCENT SLOPES | NON-HYDRIC (0) | A | 0.10 | WELL DRAINED |

GENERAL NOTES:

- OWNER / APPLICANT / DEVELOPER INFORMATION:
POP ROCS ATHLETICS
1811 PHILADELPHIA ROAD
JOPPA, MD 21085
POC: CRYSTAL PORETTI
POPROCATHELTICS@YAHOO.COM
(410) 652-5235
- ENGINEER INFORMATION:
ESSAYONS ENGINEERING SERVICES, LLC
1812 WALTON ROAD, SUITE 1
EDGEWOOD, MD 21040
CONTACT: ANDREW WHALEY, PE
(410) 417-7185
ANDY@ESSAYONSENGINEERS.COM
- PROPERTY INFORMATION:
TAX MAP: 62 / GRID: 3B / PARCEL: 862 / LOT: 78
DEED REF: L 16737 / F 317
PLAT REF: L 111 / F 90
LOT AREA: 0.70 AC +/-
- ZONE: B-2 COMMUNITY BUSINESS DISTRICT
DESIGN REQUIREMENTS FOR RETAIL TRADE / SERVICES:
MINIMUM SETBACK TO RESIDENTIAL LOT: 20 FEET
MINIMUM LOT WIDTH @ BUILDING LINE: 50 FEET
MINIMUM FRONT YARD DEPTH: 25 FEET
MINIMUM SIDE YARD DEPTH: 5 FEET
MINIMUM REAR YARD DEPTH 35 FEET
MAXIMUM BUILDING HEIGHT: 1 STORY
MAXIMUM BUILDING COVERAGE: 30%
MAXIMUM IMPERVIOUS SURFACE: 85%
- EXISTING USE: VACANT
- PROPOSED USE: GYMNASIUM & HEALTH CLUB (CHEER GYM)
PROPOSED BUILDING COVERAGE: 56 FEET X 96 FEET = 5,376 SQ. FT.
5,376 SQ. FT. / 30,500 SQ. FT. = 18%
PROPOSED IMPERVIOUS COVERAGE: 14,650 SQ. FT.
14,650 SQ. FT. / 30,500 SQ. FT. = 48%
- PARKING REQUIREMENTS:
1 SPACE PER 250 SQ. FT. = 22 SPACES
1 ACCESSIBLE SPACE
- PARKING PROVIDED: 25 SPACES, 1 ACCESSIBLE SPACE
- NUMBER OF EMPLOYEES: 2
- PROPERTY IS INCLUDED IN APPROVED FOREST CONSERVATION PLAN FCP 02-243, AND AMENDED BY FCP 16-2021.
- THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) 24025C0256E, EFFECTIVE APRIL 19, 2016.
- WATERS OF THE US, INCLUDING WETLANDS AND STREAMS, ARE NOT PRESENT ON SITE, AS SHOWN ON APPROVED FOREST CONSERVATION PLAN 02-243, APPROVED MAY 2, 2003.
- NO KNOWN HISTORIC OR CULTURAL RESOURCES OCCUR AT THIS PROPERTY
- NO KNOWN EXISTING WELLS OR SEPTIC AREAS WITHIN 200 FEET OF SUBJECT PROPERTY. THIS AREA IS SERVICE BY PUBLIC WATER AND PUBLIC SEWER.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- BASE INFORMATION SHOWN ON THIS PLAN IS FROM A SURVEY PREPARED BY ESSAYONS ENGINEERING SERVICES, LLC IN OCTOBER 2025. BOUNDARY INFORMATION SHOWN IS FROM A SURVEY PREPARED BY HOPKINS ENGINEERING, AUGUST 2025.
- EXISTING UNDERGROUND STORAGE TANKS ARE LOCATED ON THE PROPERTY AT 3508 PHILADELPHIA ROAD, MDE FACILITY ID #13392, HOWEVER NO UNDERGROUND STORAGE TANKS ARE LOCATED WITHIN 100-FEET OF THE SUBJECT PROPERTY LINES.
- FINAL LOCATION OF WATER LINES, VALVES, METERS, AND SEWER LINES TO BE DETERMINED DURING THE FINAL ENGINEERING PHASE.
- STORMWATER MANAGEMENT WILL BE PROVIDED FOR THIS PROJECT UNDER CURRENT NEW DEVELOPMENT STORMWATER MANGEMENT REGULATIONS.



VICINITY MAP
SCALE: 1" = 2000'

LEGEND

- Property Line
- Propert Corner
- Existing Building
- Existing Pavement Edge
- Existing Sidewalk
- Existing Curb
- Existing Power Pole
- Existing Overhead Power
- Existing Storm Manhole
- Existing Gas Valve
- Existing Gas Main (QL-C)
- Existing Water Meter
- Existing Water Main (QL-D)
- Existing Sanitary Manhole
- Existing Sewer Main (QL-D)
- Proposed Sanitary Sewer
- Proposed Water
- Proposed Asphalt Paving
- Proposed Concrete
- Proposed Building
- Limit of Disturbance

PLAN TYPE: S
PLAN NO.: 559-2025
VERSION: 12-22-25
DATE: 1-21-25
ENCLOSURE

ESSAYONS
ENGINEERING
SERVICES
1812 WALTON ROAD, SUITE 1, EDGEWOOD, MD 21040
410-417-7185 | info@essayonsengineers.com
ENGINEERING CLEAN WATER

| REVISIONS | | Description |
|-----------|------|-------------|
| No. | Date | |

SITE PLAN
3500 PHILADELPHIA ROAD
ABINGDON, MD
HARFORD COUNTY, MARYLAND
FIRST ELECTION DISTRICT

Designed
DES MM/YYYY
Checked
CHE MM/YYYY
Scale: 1" = XX'

Drawing No.

CS-01

Sheet 2 of 7