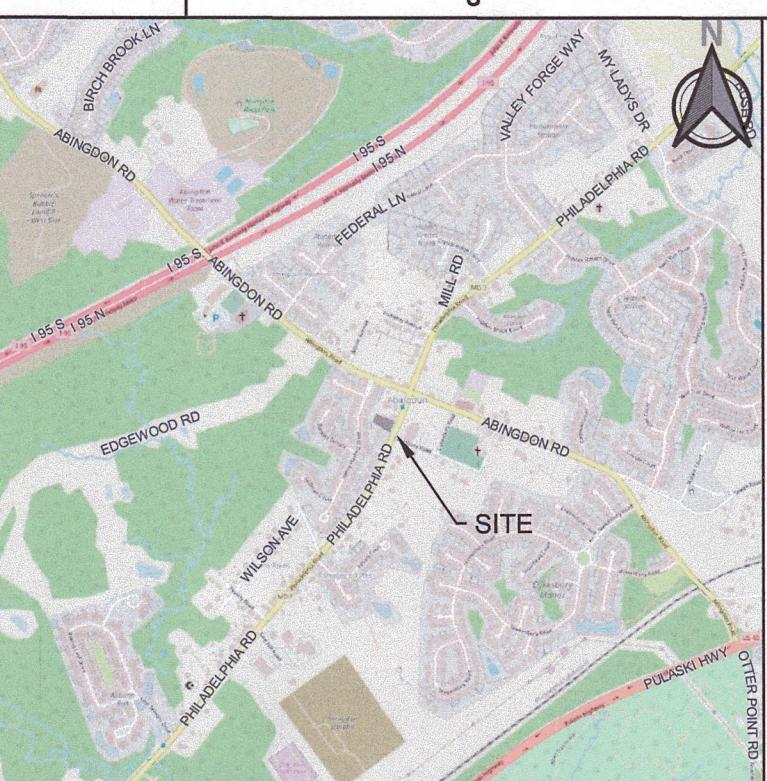


SOIL SERIES MAP UNIT - HARFORD COUNTY					
SYMBOL	SOIL SERIES NAME	HYDRIC RATING	HSG	K-FACTOR	DRAINAGE CLASS
EsC2	ELSBORO LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	NON-HYDRIC (0)	B	0.49	WELL DRAINED
JpC	JOPPA GRAVELLY SANDY LOAM, 5 TO 10 PERCENT SLOPES	NON-HYDRIC (0)	A	0.10	WELL DRAINED

GENERAL NOTES:

- OWNER / APPLICANT / DEVELOPER INFORMATION:
POP ROCS ATHLETICS
1811 PHILADELPHIA ROAD
JOPPA, MD 21085
POC: CRYSTAL PORRETTI
POPROCATHELTICS@YAHOO.COM
(410) 652-5235
- ENGINEER INFORMATION:
ESSAYONS ENGINEERING SERVICES, LLC
1812 WALTON ROAD, SUITE 1
EDGEMOOR, MD 21040
CONTACT: ANDREW WHALEY, PE
(410) 417-7185
ANDY@ESSAYONSEGINEERS.COM
- PROPERTY INFORMATION:
TAX MAP: 62 / GRID: 3B / PARCEL: 862 / LOT: 78
DEED REF: L 16737 / F 317
PLAT REF: L 111 / F 90
LOT AREA: 0.70 AC +/-
- ZONE: B-2 COMMUNITY BUSINESS DISTRICT
DESIGN REQUIREMENTS FOR RETAIL TRADE / SERVICES:
MINIMUM SETBACK TO RESIDENTIAL LOT: 20 FEET
MINIMUM LOT WIDTH @ BUILDING LINE: 50 FEET
MINIMUM FRONT YARD DEPTH: 25 FEET
MINIMUM SIDE YARD DEPTH: 5 FEET
MINIMUM REAR YARD DEPTH: 35 FEET
MAXIMUM BUILDING HEIGHT: 1 STORY
MAXIMUM BUILDING COVERAGE: 30%
MAXIMUM IMPERVIOUS SURFACE: 85%
- EXISTING USE: VACANT
- PROPOSED USE: GYMNASIUM & HEALTH CLUB (CHEER GYM)
PROPOSED BUILDING COVERAGE: 66 FEET X 96 FEET = 5,376 SQ. FT.
5,376 SQ. FT. / 30,500 SQ. FT. = 18%
PROPOSED IMPERVIOUS COVERAGE: 14,650 SQ. FT.
14,650 SQ. FT. / 30,500 SQ. FT. = 48%
- PARKING REQUIREMENTS:
1 SPACE PER 250 SQ. FT. = 22 SPACES
1 ACCESSIBLE SPACE
- PARKING PROVIDED: 25 SPACES, 1 ACCESSIBLE SPACE
- NUMBER OF EMPLOYEES: 2
- PROPERTY IS INCLUDED IN APPROVED FOREST CONSERVATION PLAN FCP 02-243, AND AMENDED BY FCP 16-2021.
- THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) 24025C0259E, EFFECTIVE APRIL 19, 2016.
- WATERS OF THE US, INCLUDING WETLANDS AND STREAMS, ARE NOT PRESENT ON SITE, AS SHOWN ON APPROVED FOREST CONSERVATION PLAN 02-243, APPROVED MAY 2, 2003.
- NO KNOWN HISTORIC OR CULTURAL RESOURCES OCCUR AT THIS PROPERTY
- NO KNOWN EXISTING WELLS OR SEPTIC AREAS WITHIN 200 FEET OF SUBJECT PROPERTY. THIS AREA IS SERVICE BY PUBLIC WATER AND PUBLIC SEWER.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- BASE INFORMATION SHOWN ON THIS PLAN IS FROM A SURVEY PREPARED BY ESSAYONS ENGINEERING SERVICES, LLC IN OCTOBER 2025. BOUNDARY INFORMATION SHOWN IS FROM A SURVEY PREPARED BY HOPKINS ENGINEERING, AUGUST 2025.
- EXISTING UNDERGROUND STORAGE TANKS ARE LOCATED ON THE PROPERTY AT 3500 PHILADELPHIA ROAD, MDE FACILITY ID #13392, HOWEVER NO UNDERGROUND STORAGE TANKS ARE LOCATED WITHIN 100-FEET OF THE SUBJECT PROPERTY LINES.
- FINAL LOCATION OF WATER LINES, VALVES, METERS, AND SEWER LINES TO BE DETERMINED DURING THE FINAL ENGINEERING PHASE.
- STORMWATER MANAGEMENT WILL BE PROVIDED FOR THIS PROJECT UNDER CURRENT NEW DEVELOPMENT STORMWATER MANAGEMENT REGULATIONS.



ESSAYONS
ENGINEERING
SERVICES
1812 WALTON ROAD, SUITE 1
EDGEMOOR, MD 21040
410-417-7185 | www.essayonsengineers.com
CIVIL ENGINEERING | LAND SURVEYING

LEGEND

REVISIONS

No.	Date	Description
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Property Line
Property Corner
Existing Building
Existing Pavement Edge
Existing Sidewalk
Existing Curb
Existing Power Pole
Existing Overhead Power
Existing Storm Manhole
Existing Gas Valve
Existing Gas Main (QL-C)
Existing Water Meter
Existing Water Main (QL-D)
Existing Sanitary Manhole
Existing Sewer Main (QL-D)
Proposed Sanitary Sewer
Proposed Water
Proposed Asphalt Paving
Proposed Concrete
Proposed Building
Limit of Disturbance

SITE PLAN
3500 PHILADELPHIA ROAD
ABINGDON, MD
HARFORD COUNTY, MARYLAND
FIRST ELECTION DISTRICT

Designed DES MM/YYYY
Checked CHE MM/YYYY
Scale: 1" = XX'

PLANTYPE: *S*
PLAN NO.: *559-2025*
VERSION: *1*
DATE: *12-22-25*
DUE DATE: *1-21-25*

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
REVIEWED OR APPROVED BY ME AND THAT I AM A
LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSURE NO. 44984 EXPIRATION DATE 12/22/2025
Drawing No. CS-01
Sheet 2 of 7